

Wykeham and Ruston Conservation Areas

Scarborough Borough Council
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Character Appraisal & Management Proposals Draft



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A CONSERVATION AREA APPRAISAL OF WYKEHAM & RUSTON

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INTRODUCTION

This appraisal of Wykeham & Ruston seeks to record and analyse the various features of the Conservation Areas and the immediately adjacent areas that give them their characteristics in order to inform the making of decisions which are likely to affect that character. The buildings and spaces are noted and described, and marked on the Character Appraisal Maps along with significant trees, boundaries and other features.

This appraisal builds upon national policy, as set out in the National Planning Policy Framework (NPPF), and local policy, as set out in the Local Plan, and provides a firm basis on which development proposals in Wykeham & Ruston can be assessed.

Wykeham & Ruston Conservation Areas were designated 1985 as they were recognised as 'Areas of Special Architectural or Historic Interest' the character and appearance of which it is desirable to preserve and enhance'. The Planning Authority has a duty to review all its designated Conservation Areas and their boundaries from time to time, to define and analyse the merits of the designated area. No review has taken place since the original designation in 1985. This character appraisal is part of that review process but also looks at a wider area than the current Conservation Areas.)

To be concise and readable, the appraisal does not record all features. The omission of any feature from the text or accompanying maps does not, therefore, mean that it is not of interest or value.

English Heritage have produced guidance on preparing Conservation Area Appraisals and Management Plans. That guidance has informed the preparation, layout and content of this document, as has the guidance contained in the NPPF and guidance from the English Historic Towns Forum.

The historical development of Wykeham & Ruston and assessment of the some of the buildings has drawn on the following sources;-

Cartographic sources

A map of the country round Scarborough

By Robert Knox 1" to 11 furlongs	1821
Ordnance survey 1:10,560 scale	1854
Ordnance survey 1:2,500 scale	1911
Ordnance survey 1:10,560 scale	1926
Ordnance survey 1:10,560 scale	1958

Online sources

Archaeological Data Service

<http://ads.ahds.ac.uk>

British History On Line

www.british-history.ac.uk

English Heritage Archives

www.englishheritagearchives.org.uk

Geograph

www.geograph.org.uk

Heritage Gateway

www.heritagegateway.org.uk

National Archives

www.nationalarchives.gov.uk

Printed sources

Houses of the North York Moors Royal Commission on the Historical Monuments of England (1987)

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THE PLANNING POLICY CONTEXT

Designation of Conservation Areas takes place under the provisions of Section 69 of the Planning (Listed Buildings and Conservation Areas) Act 1990. A Conservation Area is defined as “*an Area of Special Architectural or Historic Interest, the character or appearance of which it is desirable to preserve or enhance*”. It is the quality and interest of an area, rather than that of individual buildings, which is the prime consideration in identifying a Conservation Area.

Section 71 of the same Act requires Local Planning Authorities to formulate and publish proposals for the preservation and enhancement of any parts of their area that are designated as Conservation Areas. Section 72 specifies that, in making a decision on an application for development in a Conservation Area, special attention shall be paid to the desirability of preserving or enhancing the character and appearance of that area.

This document should be read in conjunction with the National Planning Policy Framework which came into effect in March 2012,. The relevant paragraphs of the NPPF are:-

Paragraph 17 states

Within the overarching roles that the planning system ought to play, a set of core land-use planning principles should underpin both plan-making and decision-taking. These 12 principles are that planning should (inter alia)

- conserve heritage assets in a manner appropriate to their significance, so that they can be enjoyed for their contribution to the quality of life of this and future generations

Paragraph 127 states:-

When considering the designation of conservation areas, local planning authorities should ensure that an area justifies such status because of its special architectural or historic interest, and that the concept of conservation is not devalued through the designation of areas that lack special interest

Paragraph 169 states;-

Local planning authorities should have up-to-date evidence about the historic environment in their area and use it to assess the significance of heritage assets and the contribution they make to their environment. They should also use it to predict the likelihood that currently unidentified heritage assets, particularly sites of historic and archaeological interest, will be discovered in the future. Local planning authorities should either maintain or have access to a historic environment record

Local Planning Policy

This appraisal provides a basis on which applications for development within the area can be assessed. The wider Development Plan Policy Framework produced by Scarborough Borough Council provides the context for this document. That policy is set out in a number of documents :-

Scarborough Borough Local Plan, adopted in April 1999, provides a number of policies on Conservation Areas. Work is underway to replace the Local Plan, and new policies relevant to Conservation Areas will be prepared, but the following Local

Plan policies relevant to the Wykeham & Ruston area will be 'saved' for the time being :-

E1 - Protection of open countryside

E14 - Extensions and Alterations

E23 - Detailing in Conservation Areas

H3 - Small Scale/Infill Housing Development

H12 - The Conversion and Sub-Division of Buildings for Residential Use

These policies are backed up by the following published policy and guidance leaflets and booklets :-

Period Doors

Sash Windows

Listed Buildings

Architectural Ironwork

Window Replacement Policy

The Borough Council is in the process of preparing a new Local Plan which will eventually replace those of the 1999 Plan. This appraisal will inform the use of any future Local Plan policies, and will also be taken into account in the assessment of particular sites/redevelopment opportunities that are considered through the Local Plan process

LOCATION, SETTING & DEVELOPMENT OF THE VILLAGES

Wykeham (formerly a township) & Ruston (a hamlet) are located about 10.8km (6.7 miles) west of Scarborough town centre on the main Scarborough to Pickering road A170. The parish is a long narrow shape about 17.7 km (11 miles) north to south with an area of 3,318 hectares (about 8,199 acres). The 'ancient boundary of Wykeham and Ruston,' sworn to in 1619–21 is coterminous with the present parish boundary.

As with many settlements on the A170 both Wykeham and Ruston are situated on the interface between the alluvial clays of the Vale of Pickering to the south and to the north the Corallian Beds, Oxford Clay and Inferior Oolite.

The morphology of Wykeham reflects that geological relationship to the greater extent by having a roughly T-shape comprising a short length of development along the main road, and a main axis running roughly north south down into the vale of Pickering. This is a typical form for the area found also, for example at Wilton, Allerston and in a more expanded form, Brompton.



Wykeham street falling away towards the Vale of Pickering
© Humphrey Bolton

Both Ruston and Wykeham villages form part of the Dawnay Estates and have been in continuous private ownership and management since the Dissolution. At the Dissolution Wykeham priory and its lands were granted to Richard Hutchinson. Two centuries later the Hutchinsons married into the Langley family and on inheriting their estates in 1723 assumed the Langley name. Marmaduke Dawnay Langley died unmarried in 1851 and his estates passed to his nephew William, the 7th Viscount Downe. The current owner is the 12th Viscount Downe and over 95% of the properties are in his ownership.

This continuity of estate ownership is reflected in the visually restrained character of the villages – for example the choice of colours for joinery timber lends a consistency of appearance not found in other adjacent villages.

Investment by the Estate has seen periods of significant development particularly in the periods 1830 – 1850 and 1950 -1951. These periods of development led to the demolition and replacement of housing and for this reason only a handful of domestic buildings in both villages can be positively ascribed to a date prior to 1800. Several houses of the first development period carry date stones with the initials MDL – ie Marmaduke Dawnay Langley. Housing from this period is still essentially 'Georgian' in style, however some later 19th century developments display a more gothic feel possibly reflecting the influence of the gothic revival architect William Butterfield a friend of the 7th Viscount who also designed several buildings in the villages (referred to later) and elsewhere on the estate.

The mid 20th century housing consist of groups of restrained semi-detached houses , those in Ruston forming a ribbon of new development.

Recent developments have seen the conversion of the Hillyard and Wykeham Farm buildings into a mix of commercial retail, office and food premises.

CHARACTER ANALYSIS

General Character

Grain

Wykeham is a linear village with a small node of buildings around the junction between A170 and the village street, mostly in non-residential use eg Downe Arms, All Saints Church and the primary school. Most buildings are strung out along the village street comprising groups of short terraces and detached and semi-detached houses mostly fronting the street. A few blocks run at right angles to the street, 29 and on the east side there are some courtyard groups such as Lora Courtyard and Langley House (Wykeham Business Centre). Generally there is little development in depth moreover the buildings have a spacious setting with good space between them giving a loose grain.

Ruston is a nucleated village which loosely groups around the open space at the junction of Westgate and Eastgate with the Main Street and Town End. It comprises loose groups of farmsteadings, detached and semi-detached houses and short terraces. The village spreads out to form a star shaped plan. Whilst Manor Farm and Ruston Farm have courtyard groups with a relatively dense development, generally the grain is loose and spacious.

Use

Although the villages have non-residential buildings such as active farmsteadings, an hotel, church etc, the character is mostly residential. An exception is the Wykeham Business Centre (offices) which is located in the former farm buildings of Wykeham and Lora farmsteads.

Qualities of the Buildings

Within the study area there are 23 entries in The Statutory List of Buildings of Special Architectural or Historic interest in Wykeham & Ruston (there are slightly more actual properties as some list entries cover more than one house) These entries are shown on Maps 1A, 1B, 4A and 4B and are set out in Annex 1. With the exception of the church of St Helens and All Saints, which is Grade II*, all the Listed Buildings in the study area are at Grade II and the majority of them are traditional vernacular buildings typical of the region.



Listed buildings – 23-24 Wykeham



**Listed buildings –53-55, Ruston
(also referred to in the official Listing as Butterfield Cottages)**

In the 1850s the gothic revival architect William Butterfield (1814 -1900), who was a friend of William Dawney, 7th Viscount Downe, had a hand in designing several buildings in Wykeham and Ruston, notably St Helen and All Saints Church, Wykeham School and school house and North House (originally the vicarage) in Wykeham Village.

In addition to the Listed Buildings, which clearly make a positive contribution to the character and appearance of the area, there is a number of buildings which have been recognised through the survey as of Local Interest because of their historical contribution to the area. All these buildings of Local Historical Interest or of group value are set out in Annex 2 and shown on map 4



**Left Ruston Bridge
© J Thomas**



**Local interest buildings
Right Former Methodist Chapel, Ruston**



Former Reading Room (built as The Parochial school), Wykeham

The fact that a building is neither Listed nor shown as being of local historical interest/group value does not mean that it does not have merit and does not contribute to the character of the Conservation Area. These categories make an especially valuable contribution to the area, but as the value of Conservation Areas are often greater than the sum of their parts nearly all buildings are important. In any event, and this is critical, the designation of the Conservation area means that **all** buildings whether Listed, otherwise designated or not will be protected and be subject to the national policies set out in PPS5.

Building Materials

Maps 5A and 5B illustrate the main building materials.

Walling

The majority of buildings are built in the local calcareous stone largely squared coursed rubble, some in quite thin courses. A small number of stone buildings (about 4-5%) are in smooth coursed ashlar. Ashlar is also widely used to provide smooth dressing for features such as quoins, window surrounds and window heads in some buildings.

A buff brick has been used for most of the post-war semi-detached estate houses. This material happily sits alongside the local stone. Some of these buildings have ashlar stone dressings.

Roofing materials.

The most widely used material on both stone and brick buildings is natural red clay tiles, mostly pantiles though with some 'celtic' tiles (about 20%) and a small number of 'corrugated' red clay tiles. From the mid 19th century a number of buildings have been roofed in Welsh slate – and these tend to be significant buildings such as All Saints Church, North House, the primary school and the former Methodist Chapel in Ruston

The main exceptions to the above are some of the modern farm buildings at Manor and Ruston Farms which are built in non-traditional materials

In general terms the village has a very homogeneous use of materials and future new development in the Conservation Area should respect this by the use of appropriate stone and roofing materials. Where used, natural clay pantiles, should preferably be 'handmade' since these weather down more readily than pressed pantiles.

Storey Heights

Most buildings are of two storeys although there are a few exceptions. Generally two storey buildings are full height and there are only a very few examples of low eaves pierced by first floor level windows.

Local Details

Windows and doors

There is an excellent level of preservation of traditional painted timber windows in the Dawnay Estate colours of Buttermilk and Brown in Wykeham & Ruston and these make a substantial contribution to the character of the villages. The predominant window type (between 50 and 60%) is the vertically sliding sash generally, but not exclusively, with small pane configuration such as 6 over 6. Many of the semi-detached estate cottages of the 19th and 20th centuries have casement windows again generally with small panes and a configuration of two or three opening lights similar to that of horizontal sliding sashes. Finally a small number of buildings (around 10%) have horizontally sliding sashes (often known as 'Yorkshire lights') sometimes in combination with vertical sliding sashes.

Roofs

Roofs are mostly a very simple with gable treatments generally of plain close verges or simple barge boards. There is a little use of stone gable tabling with stone corbels or hipped ends. The complex roofs of some of the 19th century estate cottages with barge boards and overhanging eaves also seen in buildings such as the former Methodist Chapel and North House are also characteristic. Whilst rarely dominant architectural statements in their own right roofs do have a strong visual presence in the street scene. Eaves lines vary but are not generally particularly low, 1¹/₂ storey buildings with gables projecting through the eaves line are very much the exception.

Chimney stacks are present on nearly all buildings and provide punctuation to the roofline. In only a few cases are they are substantial stone structures which are an architectural statement in their own right. More often they are modest structures and even on stone buildings, chimney stacks are often built in mellow red brick.

Dormer windows are not a characteristic of Wykeham & Ruston where the general impression is of clean roof lines punctuated by chimney stacks.

Frontage Boundaries

Stone walls especially dry stone walls make a very important contribution to the character of the area both as retaining walls and boundary walls. The main walls are shown on Map 4.

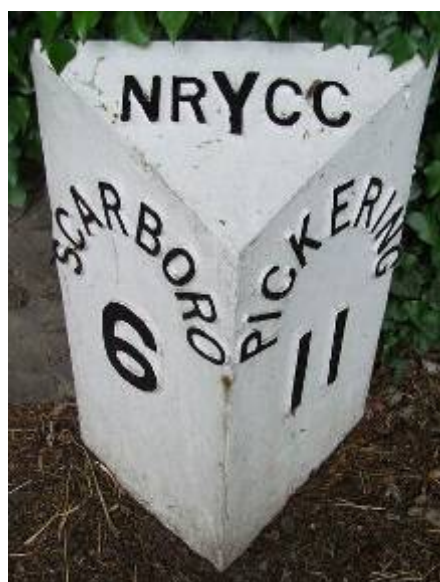
Future development should ensure the retention of existing boundary walls other than in exceptional cases, and should also reinforce this characteristic by introducing new walls.

Street Furniture and minor features

There are a few items of street furniture and other street items which add to the 'cherished local scene'. These are listed below;-

Street features contributing to the character of the area

Street	Features	
A170, Wykeham	Cast iron milestone	
A170, Wykeham	War memorial plaque	
Ruston village	VR cast iron post box in wall of ** West Gate	



Open space and trees

Trees make a very strong contribution to the character of the wider area though mainly outside the present conservation Areas . There are substantial groups of trees along the south side of the A170 forming a wooded screen to Wykeham Abbey Park; to the east of Ruston (Fishpond Plantation); at the south end of Wykeham as well as other locations throughout the villages.

Negative factors

There are no Listed Buildings at Risk within the study area.

Farm buildings to the east of Valley Farm are in poor and deteriorating condition. This building within a walled courtyard is still of interest and is a non designated heritage asset as defined in the NPPF. It is also non designated heritage asset At Risk and ideally should be brought into a viable use. Although a previous application

was refused, circumstances have changed somewhat and subject to a detailed structural survey and a well detailed and appropriate design the conversion of these buildings to a single residence with the walled courtyard forming the curtilage is a possibility. New build would not be acceptable in this location.



The adjacent dutch barn is a negative building.

Opportunity sites Wykeham

Ruston

The site of Manor Farm was submitted for consideration as a housing allocation through the Local Plan replacement (Site 15-01). This comprises Manor Farm house and Manor Farm cottage both Listed grade II and some old stone farm buildings behind, which potentially form good groups although at present they have been largely dominated by later farm buildings, including a large Dutch barn between the farmstead and the estate cottages. Some of this site is outside the Conservation Area and it is all within the development limits. The existing stone farm buildings, although dominated by large modern agricultural villages are Heritage assets and have the potential to make a much more positive contribution to the character of the Conservation Area thorough adaptive re-use. Adaptive re-use may include a sensitively designed residential use although there may be other uses. A detailed analytical survey needs to be done of these farm buildings before any works to them can be considered. There is also scope for a modest number of new build properties On the south west end of this site.

Archaeological Issues and historic landscape

There are no Scheduled Monuments within the Conservation Areas.

APPENDIX 1 LISTED BUILDINGS

Officially, Listed Buildings are grouped by Parish. This list covers only those Listed Buildings within the study area, not the whole of Wykeham parish

Street	Listing address	Grade	
A170	The Downe Arms	II	Wykeham
A170	Church Lychgate	II	Wykeham
A170	All Saints Church	II*	Wykeham
A170	North House & attached outbuildings	II	Wykeham
A170 (south side)	Gates, railings & 4 gate piers	II	Wykeham
A170	School & attached school house	II	Wykeham
A170	Hill Farmhouse	II	Wykeham
Wykeham Lane	Bridge	II	Wykeham
Wykeham Lane	Ice house	II	Wykeham
Wykeham Village	Abbots Meadow	II	Wykeham
Wykeham Village	Yew Grange and attached outbuilding	II	Wykeham
Wykeham Village	34-38 (Lora Cottages)	II	Wykeham
Wykeham Village	23 & 24	II	Wykeham
Wykeham Village	40 & 41	II	Wykeham
Burton Terrace	46 and attached outbuilding	II	Ruston
Burton Terrace	50 and attached outbuilding	II	Ruston
East Gate	63 & attached outbuilding	II	NYMNP
East Gate	65 & attached outbuilding	II	NYMNP
Ruston Village	52	II	Ruston
Ruston Village	53-55 (Butterfield Cottages) & outbuilding	II	Ruston
Ruston Village	59, 60 & 61 (Lora Terrace)	II	Ruston
Ruston Village	62 Ruston Lodge	II	Ruston
Ruston Village	76 & Manor Farm Cottage	II	Ruston

APPENDIX 2

Buildings of Local Historical Interest (LHI) or forming a significant group (SG)

A Local Interest building is one which whilst not statutorily listed is a heritage asset which makes a significant contribution to the Special Architectural or Historic Interest of the area – the value may be historic rather than aesthetic. The NPPF defines a Heritage Asset as a building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest. Heritage asset includes designated heritage assetseg Listed Buildings and assets identified by the local planning authority (including local listing).

Each represents a significant record of one or more of the following:-

1. style in architecture
2. national or locally renowned architect, engineer etc
3. category of construction (civic building, bridge etc)
4. grouping of buildings
5. of townscape merit
6. use of material
7. association - eg occupancy by an individual; by a particular craft or trade or particular company
8. community value
9. nodal significance – acts as a landmark
10. if lost would significantly reduce the variety of stock in the area
11. contributes to the group value of a building cluster or street
12. has potential and if retained and enhanced would add significantly to the stock and or character of the area
13. if lost would mean that an indicator of the area's historic or more recent meaning is gone

Street	Building number/name	Criteria	Notes
A170, Wykeham	Former NER station	3, 7, 13	
Wykeham Village	Former Reading Room (built as the parochial school)	8, 13	Undergoing refurbishment as a residential unit
Ruston Village	Former Methodist Chapel	3, 13	
Ruston Village	Bridge over Ruston Beck	3, 13	

NOTE:

The fact that a building is not shown as being Listed; of Local Historical Interest; of Townscape Merit or of Local Historical Interest does not mean that it does not have merit and does not contribute to the character of the Conservation Area. Buildings of Townscape Merit make an especially valuable contribution to the area but as Conservation Areas are often greater than the sum of their parts nearly all buildings are important. In any event, and this is critical, the designation of the

Conservation area means that buildings whether Listed, otherwise designated or not will be need consent for demolition (other than those below a certain size). Applications for consent for demolition will be considered in the light of national policies set out in the NPPF.

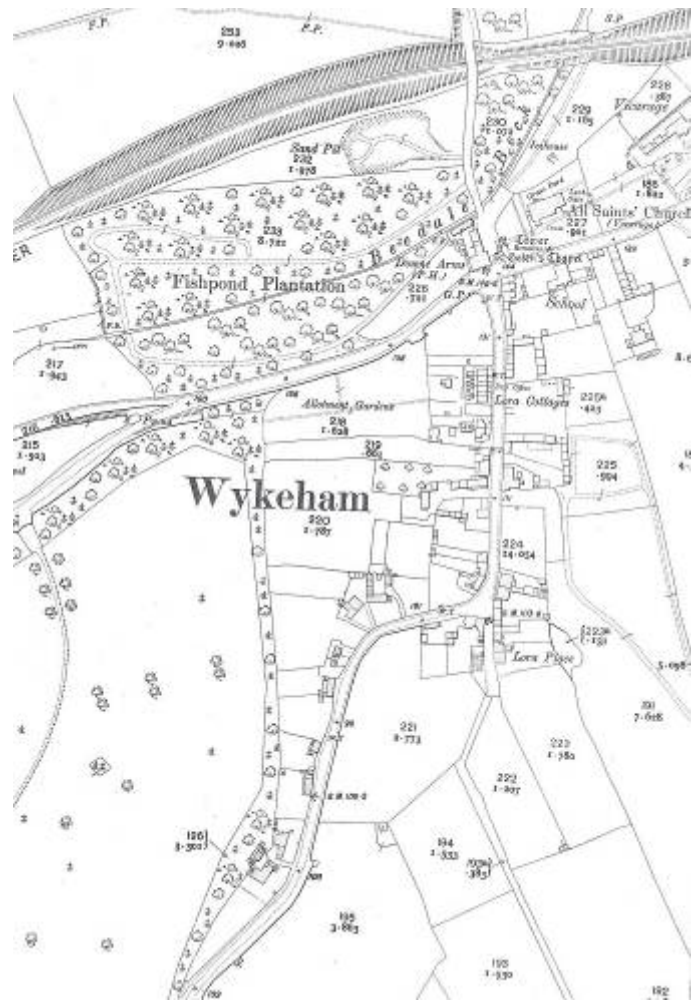
**APPENDIX 3
HISTORIC MAPS & PLANS**



Wykeham & Ruston in 1821 – extract from Knox's map



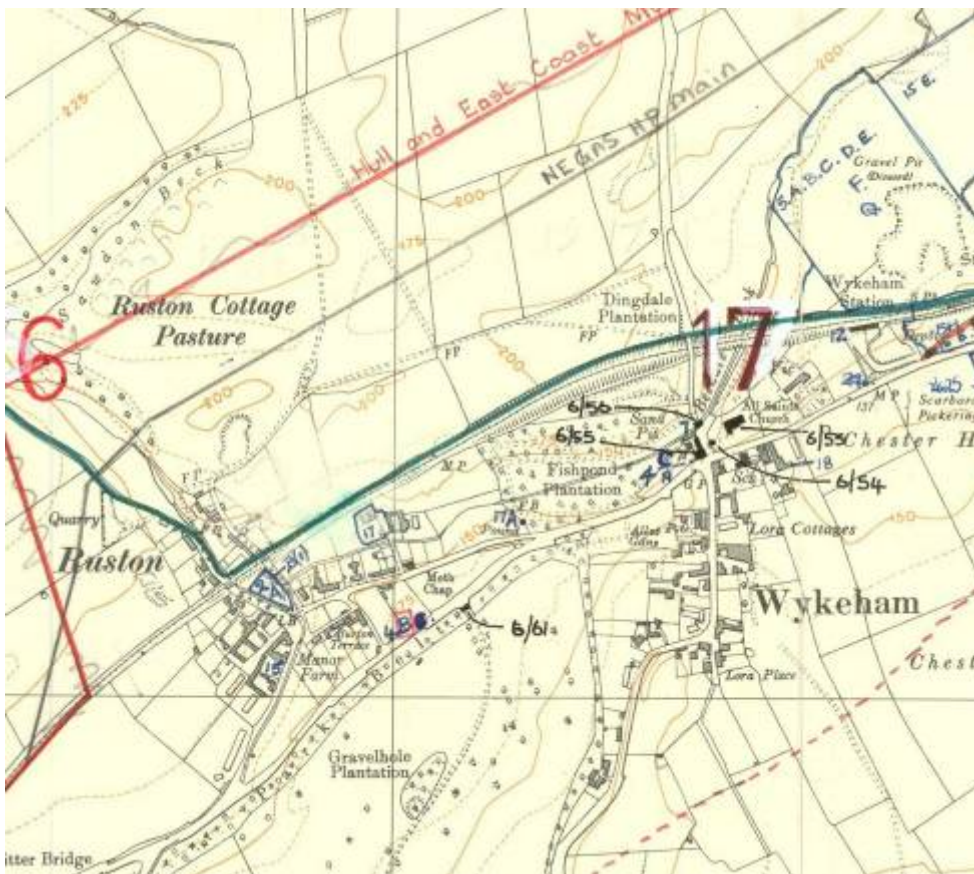
Wykeham & Ruston in 1850 – extract from the 1:10,560 (6" to 1 mile) scale OS map



Wykeham & Ruston in 1911 – extracts from the 1:2500 (25" to 1 mile) scale OS map



Wykeham & Ruston in 1926 – extract from the 1:10,560 (6" to 1 mile) scale OS map



Wykeham & Ruston in 1952 – extract from the 1:10,560 (6" to 1 mile) scale OS maps

WYKEHAM & RUSTON CHARACTER APPRAISAL
MANAGEMENT PROPOSALS

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- 1 Introduction
- 2 Appraisal
- 3 Legislative Background
- 4 Issues and Recommendations :
 - 4.1 Conservation Area Boundary
 - 4.2 Demolition
 - 4.3 New Development
 - 4.4 Materials and design
 - 4.5 Trees
 - 4.6 Boundary walls
 - 4.7 Extensions and Minor Alterations
 - 4.8 Buildings at Risk
- 5 Monitoring and Review

1 INTRODUCTION

This Section sets out the recommended Management Plan for the appraisal area. It sets out both policies and recommendations which are intended to preserve the character and appearance of the area. The proposals should be read in conjunction with it.

2 APPRAISAL

The appraisal identified a number of specific and general issues affecting Wykeham & Ruston, including enhancement opportunities and negative features. Each issue is accompanied by recommendation(s) for action, sometimes identifying further or more detailed work needed for their implementation.

The recommendations include proposals for enhancement and policies for the avoidance of harmful change.

The management proposals are written in the awareness that the Council's resources are limited and therefore need to be prioritised. Financial constraints on the Council mean that proposals for which it is responsible may take longer than is desirable to implement. Encouragement will be given to improvements to the area in co-operation with property owners and groups.

A flexible approach should be taken to highway policies where they would be in conflict with the preservation or enhancement of the area's character or appearance.

The structure and scope of this document is based on the suggested framework published by English Heritage in *Guidance on the Management of Conservation Areas (2005)*. Both the Conservation Area Appraisal and the Management Proposals will be subject to monitoring and reviews.

3 LEGISLATIVE BACKGROUND

Government guidance is set out in the NPPF and there is a statutory requirement under Section 71(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 that :-

"It shall be the duty of the Local Planning Authority from time to time to formulate and publish proposals for the preservation and enhancement of any parts of their area which are Conservation Areas".

Scarborough Borough Local Plan, adopted in April 1999, provides a number of policies on Conservation Areas. Work is underway to replace the Local Plan, and new policies relevant to Conservation Areas will be prepared, but the following Local Plan policies relevant to the Wykeham & Ruston area will be 'saved' for the time being :-

E1 - Protection of open countryside
E.12 - Design of new development

- E.14 - Extensions and alterations to existing buildings
- E.23 - Detailing in Conservation Areas
- E.27 – Protection of significant views
- H.3 - Small scale/infill housing development within the development limits of settlements.
- S.14 - Shop fronts

These policies are backed up by the following published policy and guidance leaflets and booklets :-

- Period Doors
- Sash Windows
- Listed Buildings
- Architectural Ironwork
- Window Replacement Policy
- Design of Extensions

The Borough Council takes the view that the Development Management procedure should be used creatively to seek the preservation and enhancement of the Conservation Area and seek out opportunities for improvement and added value. Thus the Borough Council will seek to use the Development Management system positively to gain the repair, refurbishment, improvement and enhancement of buildings and their settings.

Current Local Plan policies provide the statutory basis for Development Management decisions and set out the principles against which proposals will be assessed. The management proposals in this document provide more detailed guidance to residents and potential developers on how those principles will be applied within the Conservation Area, to ensure its character is maintained and enhanced.

The Borough Council firmly believes that sound advice, readily available, and good publicity and information are important to the achievement of good conservation. To this end, a number of guidance leaflets have been produced as set out above.

Further publicity will be produced to meet demonstrable needs, subject to the financial resources being available.

Significant harm can be caused by breaches of Planning Control and those that are clearly unacceptable will be enforced against quickly. A planning application will be invited where breaches of planning control might be acceptable, possibly with amendment. This will enable the issues to be thoroughly tested, including local consultation.

4 ISSUES AND RECOMMENDED MANAGEMENT POLICIES

4.1 Conservation Area Boundary

The appraisal has shown that the existing Conservation Areas are considered to have Special Architectural or Historic Interest and continue to be worthy of preservation. It is not seen as necessary to extend the Conservation Areas

Recommended Management Policy (RMP) 1

The Conservation Area boundaries be retained as existing .

4.2 Demolition

Section 74 of the Act provides for control over the demolition of buildings in Conservation Areas (subject to various exceptions). Policy HE 9.1 of PPS5 - Planning for the Historic Environment states There should be a presumption in favour of the conservation of designated heritage assets and the more significant the designated heritage asset, the greater the presumption in favour of its conservation should be. Once lost, heritage assets cannot be replaced and their loss has a cultural, environmental, economic and social impact. Significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting. Loss affecting any designated heritage asset should require clear and convincing justification. Substantial harm to or loss of a grade II listed building, park or garden should be exceptional. Substantial harm to or loss of designated heritage assets of the highest significance, including scheduled monuments, 14 protected wreck sites, battlefields, grade I and II* listed buildings and grade I and II* registered parks and gardens, World Heritage Sites, should be wholly exceptional.

RMP 2

In line with the guidance in the NPPF, paragraph 133,, there will be a general presumption against the demolition of buildings which contribute to the character of the Conservation Area. Applications for demolition of buildings in the Conservation Area will only be permitted where it can be justified against the criteria set out below and where the applicant has proved that there will be an enhancement to the area. Consideration of proposals against these criteria will be informed by the Character Appraisal with the aim of maintaining the area's positive characteristics.

Criteria

- the nature of the heritage asset prevents all reasonable uses of the site; and*
- no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and*
- conservation by grant-funding or some form of charitable or public ownership is demonstrably not possible; and*
- the harm or loss is outweighed by the benefit of bringing the site back into use.*

4.3 New Development

Saved Policy H3 in the adopted Scarborough Borough Local Plan sets the general principles of small scale/infill housing development within the development limits of settlements. In such areas new housing development will be permitted within the defined development limits of settlements provided that individual proposals meet the following criteria:

- (a) the scale, character and appearance of the development should respect the character and physical form of its surroundings;
- (b) the vehicular access and services should have the capacity to serve the proposed level of development;
- (c) the development should not result in the loss of important public views, public or private open space, landscaped areas, recreational land, and gaps in built up frontages which positively contribute to the character and appearance of the area;
- (d) the development should not harm the amenities of nearby residents as a result of overlooking or an overbearing effect on existing property caused by the relationship of new and existing buildings, or disturbance from vehicular movement; and
- (e) they are acceptable in terms of policies for the protection of nature conservation interests.

RMP 3

Any proposal for new development within the Conservation Area should not be submitted without a Design, Access and Heritage Statement which should include a full analysis of the characteristics of the surrounding area.

4.4 Materials and design details

New development should be carried out in walling materials and detailing which are appropriate to the character of the Conservation Area and adjacent or host buildings. The use of contextual innovative design is acceptable but such designs should also demonstrate good neighbourliness in terms of the character of the area and this is best achieved through traditional materials

RMP 4 Materials and details

New development should be carried out in an appropriate materials which will include:-

Walls and roofs - stone coursed and tooled in the local tradition under natural clay pantile or natural slate roofs. Where the development impacts upon a Listed Building the pantiles shall be handmade.

Eaves detail should be appropriate to the context.

Gable verges should generally have a plain close finish.

Widows and doors should be constructed in painted timber with windows set in deep reveal.

4.5 **Trees**

Section 211 of the Town and Country Planning Act 1990, as amended, requires that anyone proposing to cut down, top or lop a tree in a Conservation Area must give six weeks notice to the Local Planning Authority. The purpose of this requirement is to give the Authority an opportunity to make a Tree Preservation Order.

Trees make an important contribution to the character and appearance of the area and to its setting. Some are covered by Tree Preservation Orders, but it is desirable that a comprehensive tree survey of the whole of the Conservation Area be carried out, plus its setting, to determine whether additional Tree Preservation Orders are required.

Trees are a particular feature of the Conservation Area, but they mature and die. Therefore, every effort should be made to provide for new and replacement tree planting within new developments.

RMP 5

The planting of new and replacement trees should be encouraged where appropriate as part of all developments within the Conservation Area.

4.6 **Boundary walls**

A significant number of the properties in the Conservation Area have dry stone walls along their highway boundaries and these are an important feature of the area, contributing to its character and appearance. Those along front boundaries are very important to the street scene, helping to delineate the public and private spaces.

RMP 6

Stone or brick boundary walls should be retained and repaired. Where new development is permitted it will be a requirement that existing stone or brick walls are retained (except for a reasonable opening for access) and where a stone wall has been lost it will be a requirement that the new development is provided with a stone frontage wall. .

4.7 **Extensions and Minor Alterations**

(a) Extensions and Alterations to Buildings

Whilst generally any work that materially affects the external appearance of a building requires planning permission, certain works to dwellinghouses are classified as "Permitted Development" and do not require planning permission. Permitted Development includes small alterations and extensions to dwellinghouses; the erection of buildings; enclosures or pools required for a purpose incidental to the

enjoyment of a dwellinghouse (such as a swimming pool); the provision of hard surfaces, and the erection of and alterations to boundaries.

Within Conservation Areas some developments (that in other areas would be “Permitted Development”) are not classified as “Permitted Development”. These include various types of cladding; the insertion of dormer windows; and the erection of satellite dishes on walls, roofs and chimneys fronting a highway. Also, within Conservation Areas, the size of extensions that may be erected within specific planning permission is more restricted.

There are no Permitted Development rights on Listed Buildings.

(c) **Boundary Walls and Outbuildings**

Boundary wall and ancillary structures such as outbuildings are important features of the Conservation Area and in a number of instances they have been altered, or even lost. Therefore, every opportunity should be taken to restore walls and/or hedges to property boundaries.

BLP Policy E14 seeks to avoid extensions and alterations which are detrimental to the appearance of buildings because of their location, size or design. In order to safeguard the character of the area, the following policy is proposed :-

RMP 7

Proposals to extend or alter property in the area will be expected to have regard to the following principles :-

- (a) Extensions (including porches and canopies) on the front or principal elevations of buildings should be avoided as these elevations have usually been carefully designed.*
- (b) Extensions at the side or rear are generally to be preferred, except where these elevations have also been carefully designed or are open to public view.*
- (c) Extensions should be subordinate to the building to which they are attached.*
- (d) Dormer windows are generally not characteristic of the village and generally should be avoided*
- (e) Use similar or complimentary materials – usually stone (dressed tooled and coursed in the local tradition) and clay pantiles, which should be handmade on listed buildings.*
- (f) Reflect or compliment its style and appearance.*

- (g) *The design and siting of buildings and structures within the curtilage of dwellinghouses respecting the character of the building or the character and appearance of the wider Conservation Area.*
- (h) *Retention of timber doors and windows which are important to the character and appearance of the building or the wider Conservation Area.*
- (i) *Buildings which were not originally designed to be painted, should not be painted.*
- (j) *Avoid alterations to (including demolition of) boundary walls, hedges, gate piers, fences and gates that would be detrimental to the character or appearance of the Conservation Area.*
- (k) *Encourage the reinstatement of removed hedges, boundary walls and outbuildings.*

4.8 Buildings at Risk

There are no Listed Buildings considered to be at risk in the Character Appraisal Study Area.

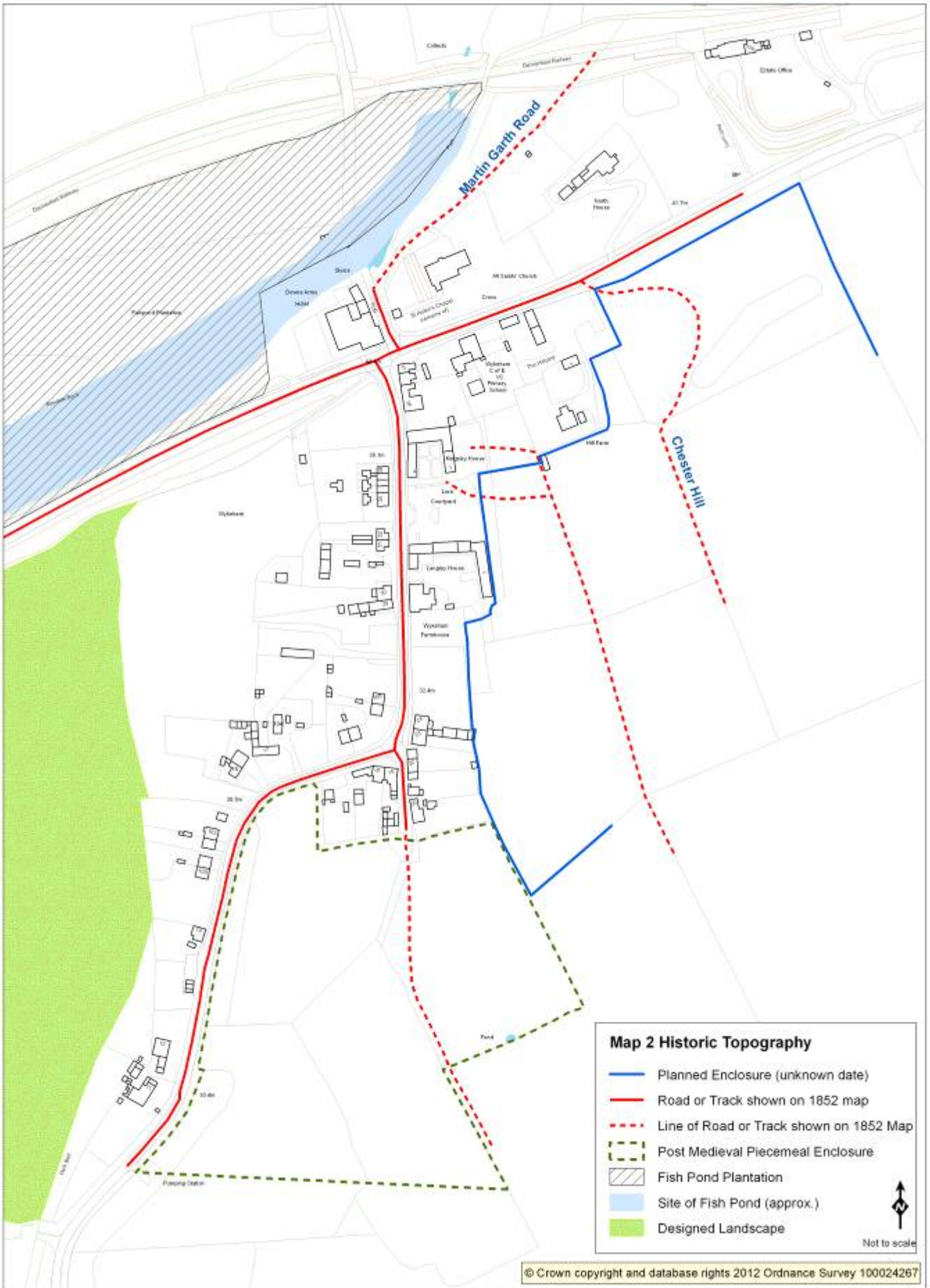
5 MONITORING AND REVIEW

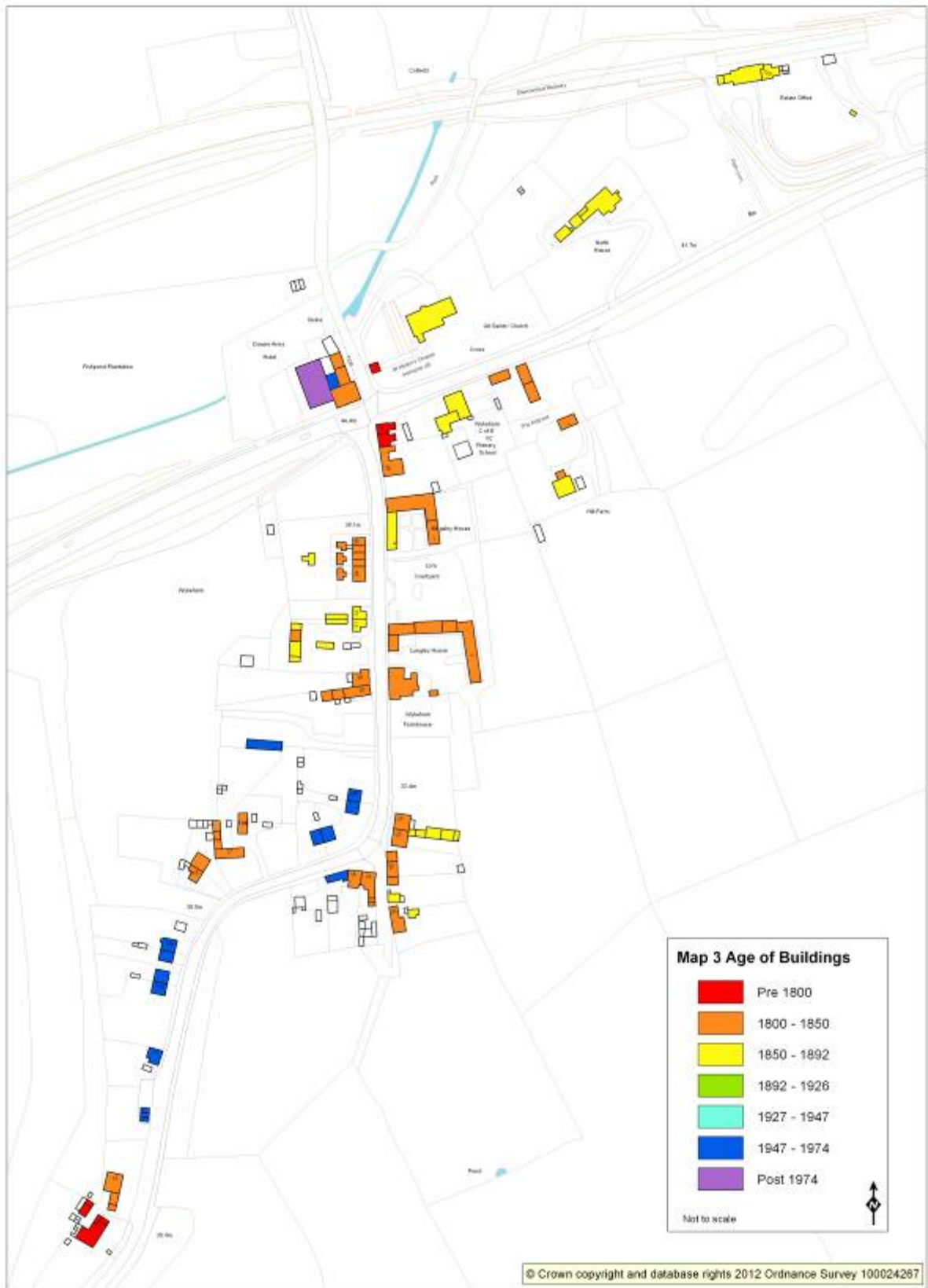
In line with guidance issued by English Heritage it is recommended that this appraisal be reviewed every five years from the date of its formal adoption. It will need to be assessed in the light of the emerging Local Development Framework and Government policy generally. A review should include the following :-

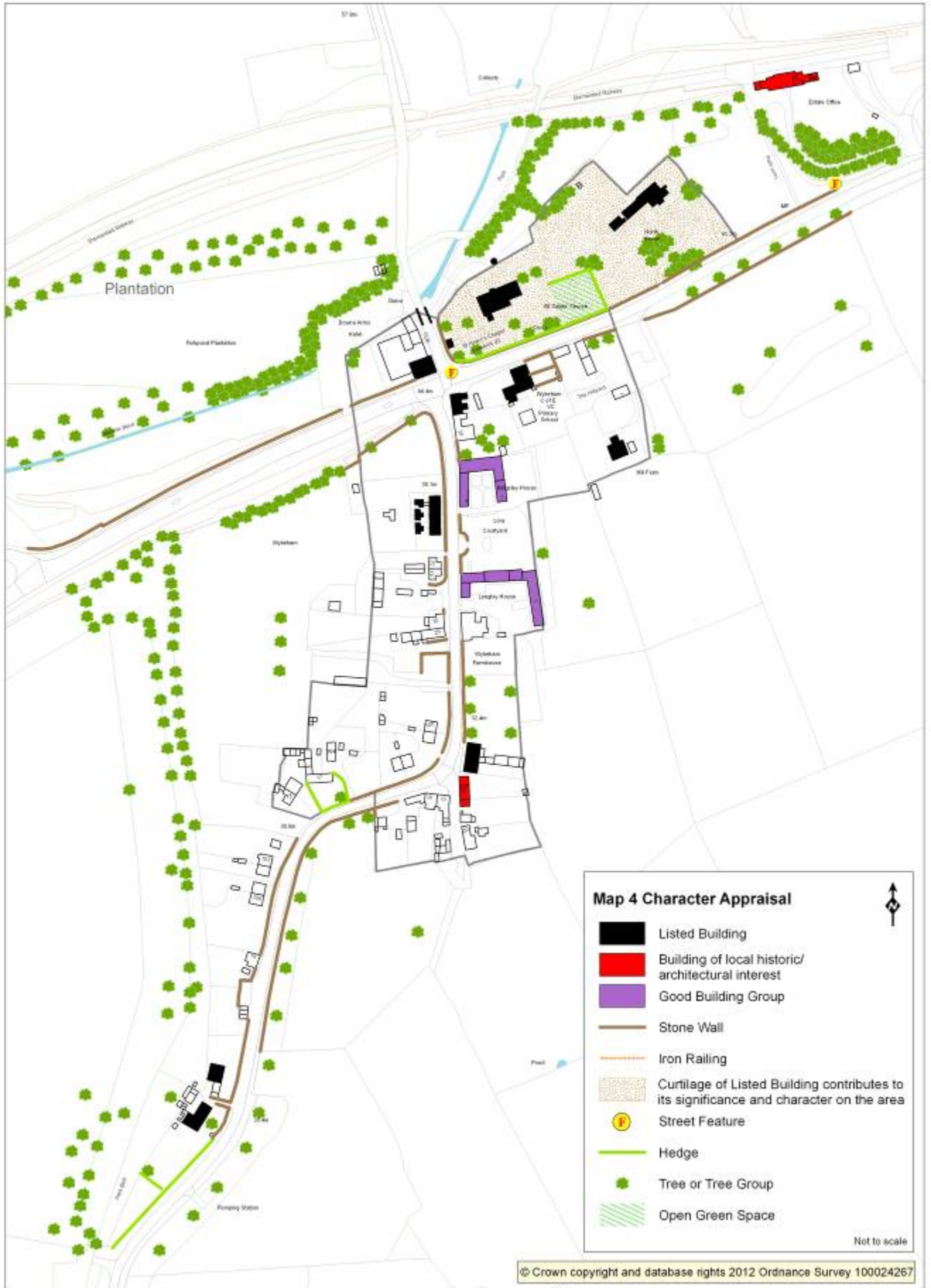
- A survey of the Conservation Area, including a full photographic survey to aid possible enforcement action.
- An assessment of whether the various recommendations detailed in this document have been acted upon, and how successful this has been.
- The identification of any new issues which need to be addressed, requiring further actions or enhancements.
- The identification of any new issues which need to be addressed, requiring further actions or enhancements.
- The production of a short report detailing the findings of the survey and any necessary action.
- Publicity and advertising.

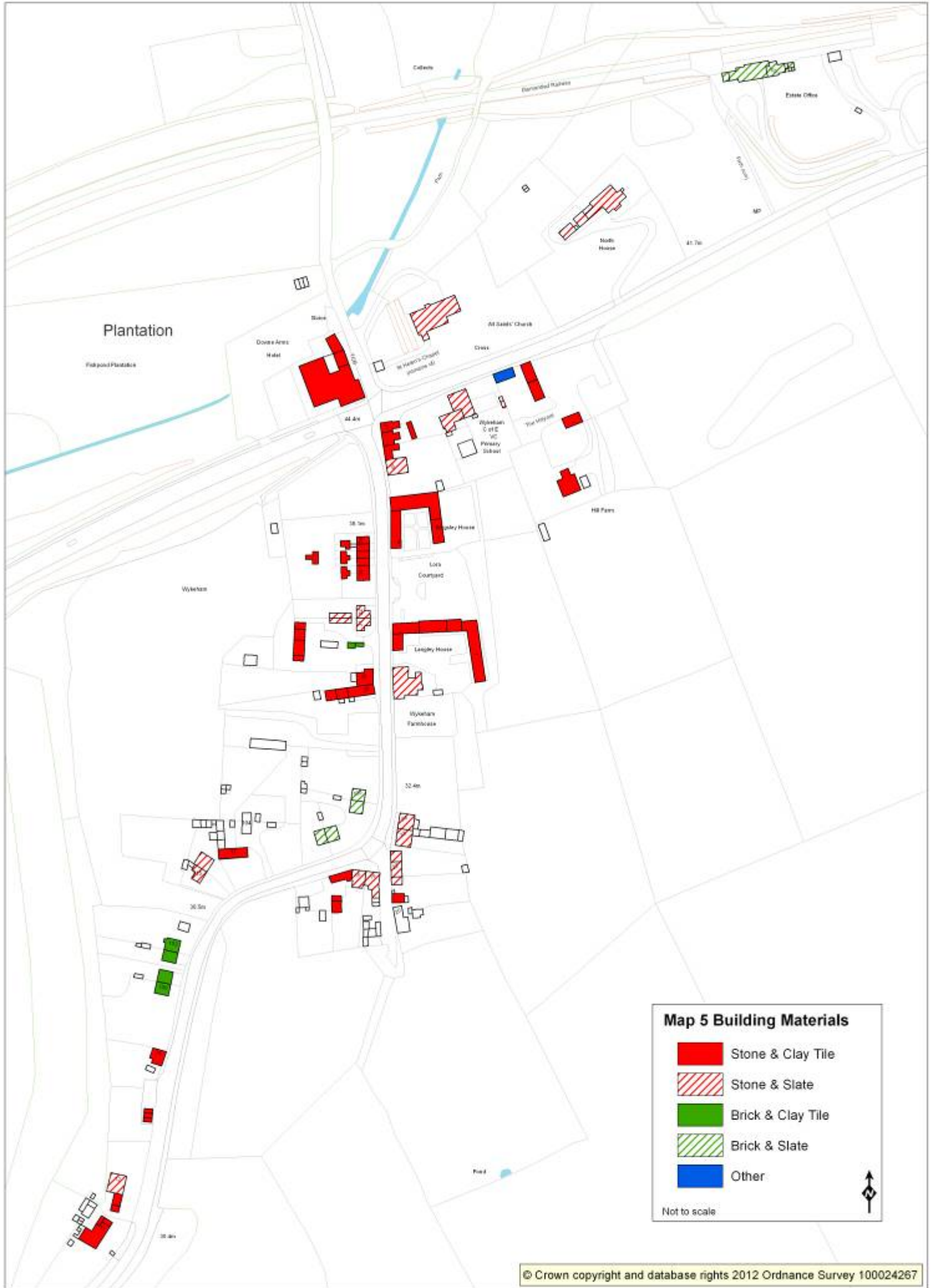
This review could possibly be carried out by the local community under the guidance of a Heritage Consultant or the Planning Authority. This would enable the local community to become more involved with the process and would raise public consciousness of the issues, including the problems associated with enforcement.

CHARACTER APPRAISAL MAPS





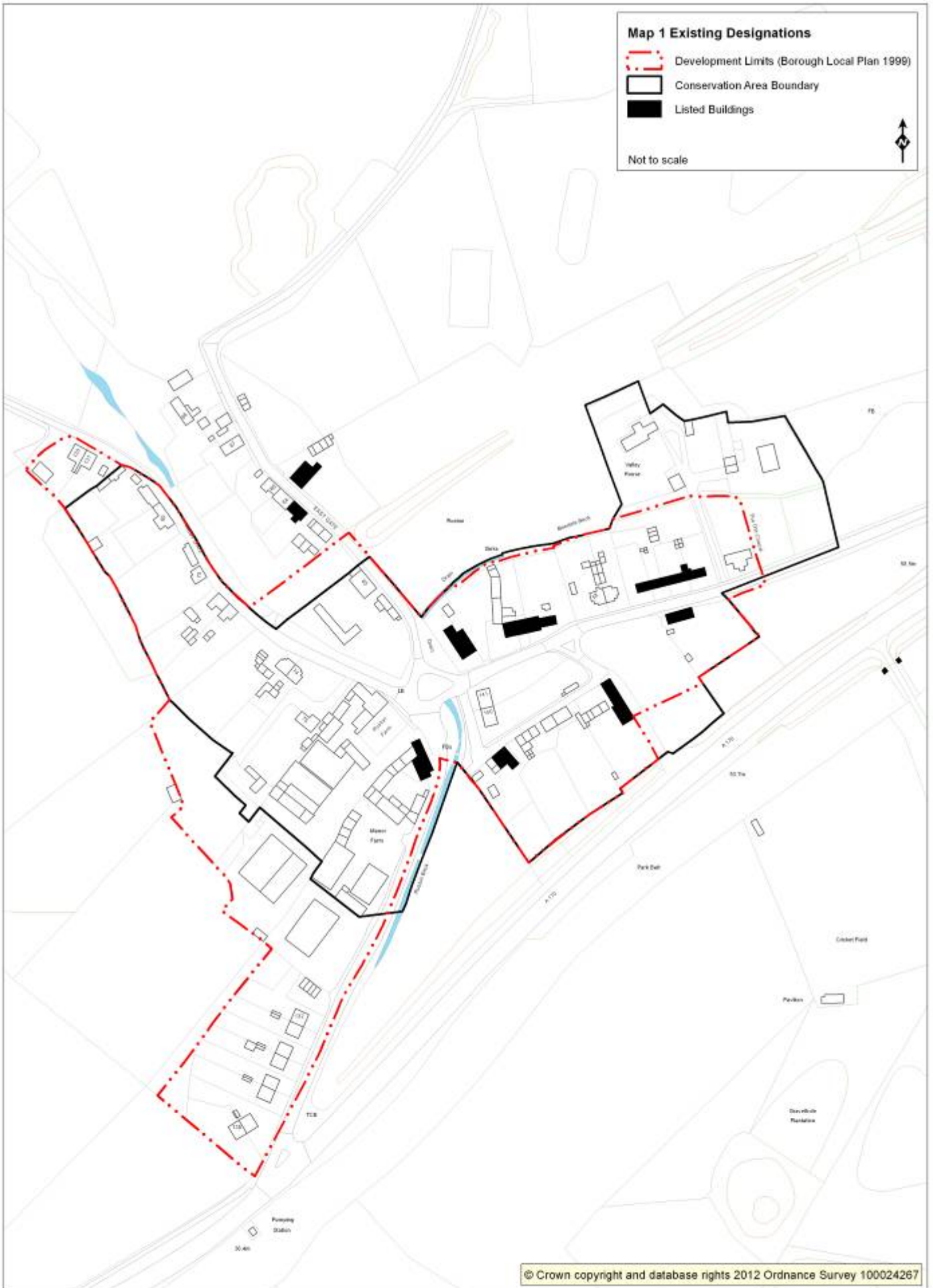


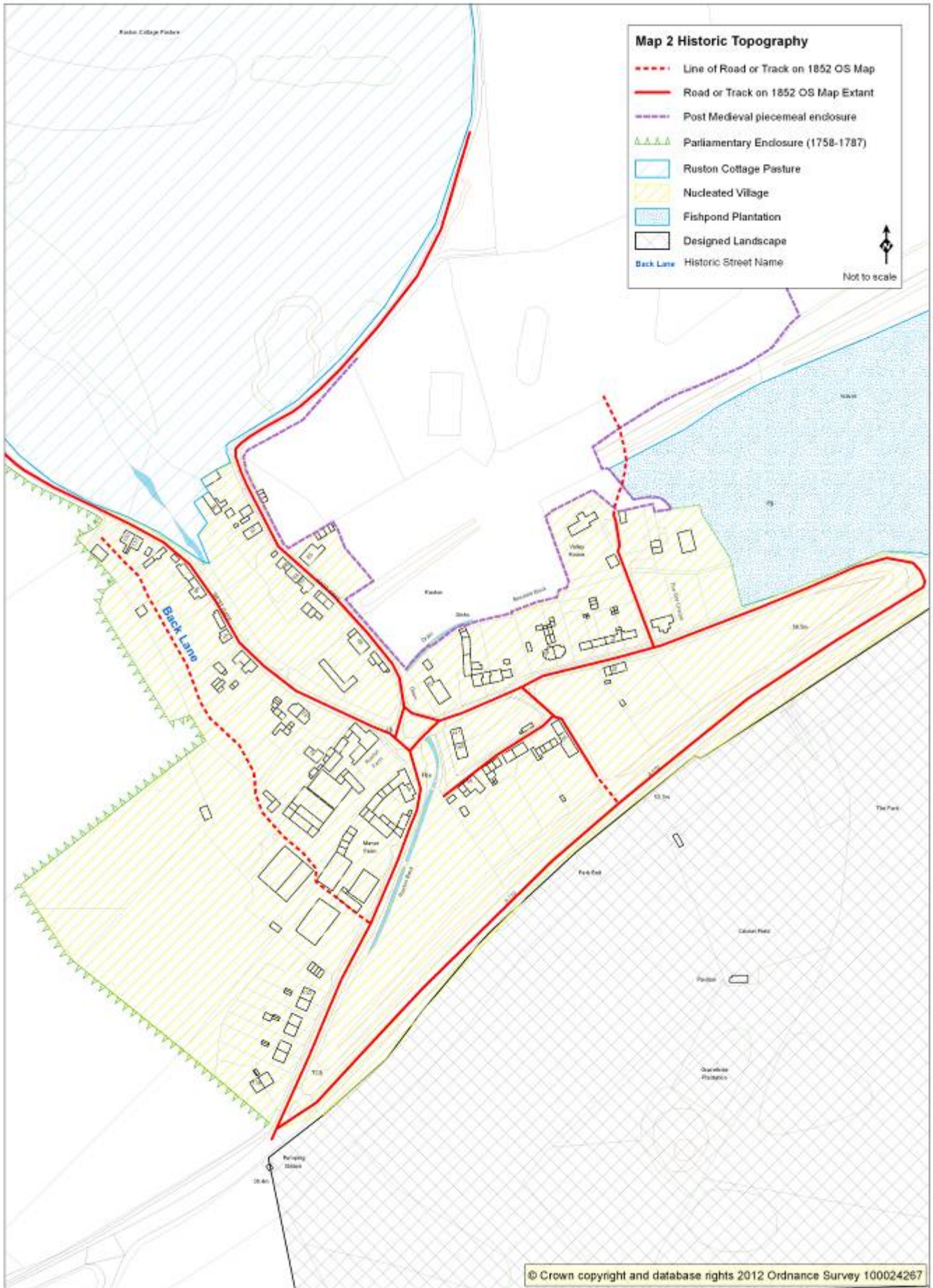


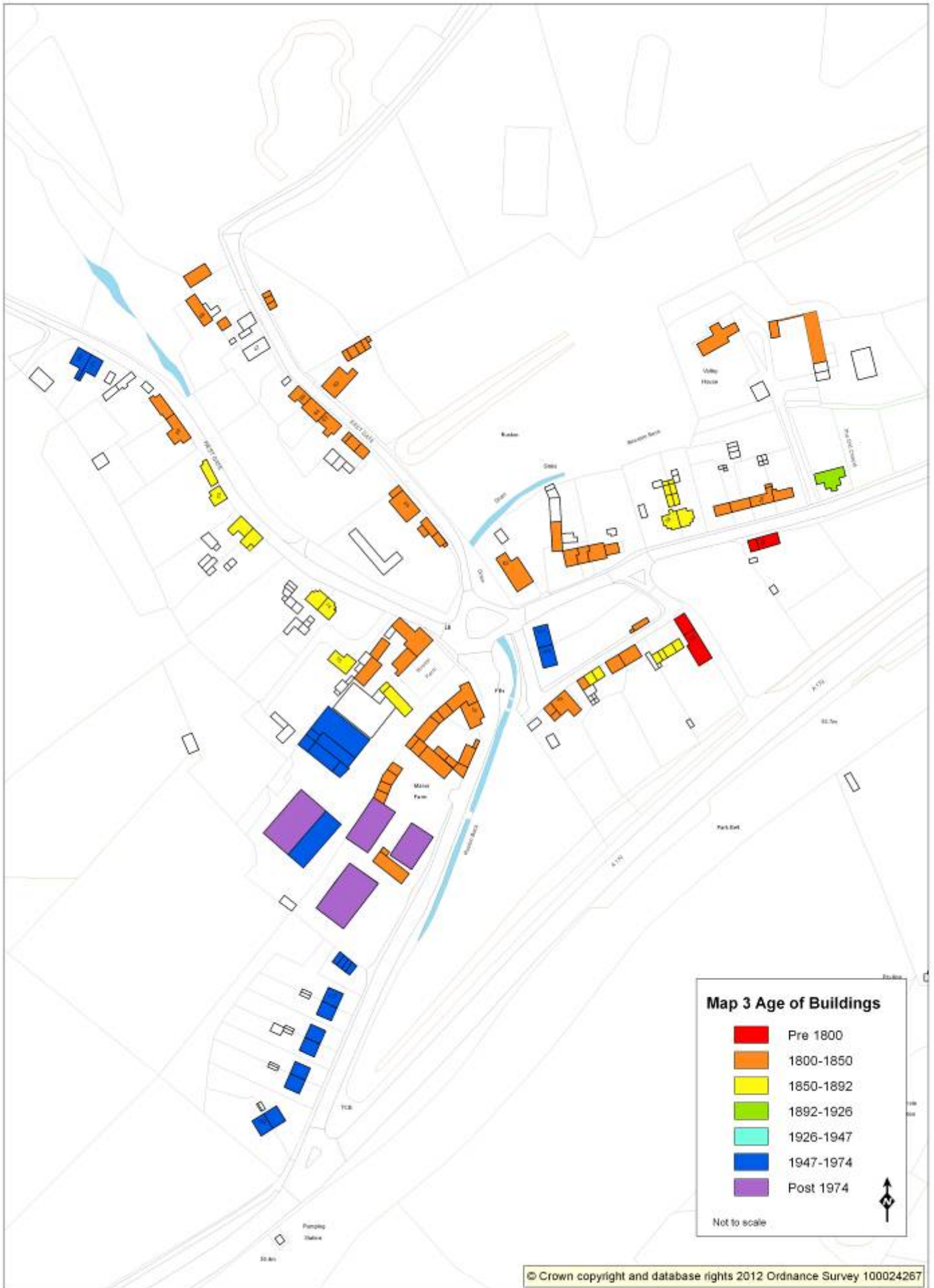
Map 1 Existing Designations

-  Development Limits (Borough Local Plan 1999)
-  Conservation Area Boundary
-  Listed Buildings

Not to scale







Map 3 Age of Buildings

Red	Pre 1800
Orange	1800-1850
Yellow	1850-1892
Green	1892-1926
Cyan	1926-1947
Blue	1947-1974
Purple	Post 1974

Not to scale

